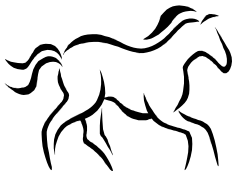


Additional Resources

Onslow County Cooperative Extension
4024 Richlands Highway
Jacksonville, NC 28540
910-455-5873

The Onslow County Cooperative Extension Office is available to assist with advice regarding best management practices in the care of horses, barns, and pastures.



Onslow County Animal Services
244 Georgetown Road
Jacksonville, NC 28540
910-455-0182

If your property is located within a municipal planning jurisdiction and, therefore, out of the county's jurisdiction, you should contact your city hall for information.

Jacksonville – 910-938-5200

Holly Ridge – 910-329-7081

North Topsail Beach – 910-327-1349

Richlands – 910-324-3301

Swansboro – 910-326-4428

Surf City – 910-328-4131



Onslow County
Planning & Development Department
234 Northwest Corridor Blvd.
Jacksonville, NC 28540
910-455-3661
www.onslowcountync.gov/planning

ONLOW COUNTY
Planning & Development Department
Land Use Division

Zoning Regulations for Keeping Horses



Introduction

The Onslow County Zoning Ordinance defines the term “stable” as any facility intended to house, board, handle, train or otherwise keep or care for horses. The zoning ordinance distinguishes between **private stables**, where the owner’s horses are kept, and **public stables**, where customers’ or patrons’ horses are kept. The zoning ordinance further distinguishes between private stables as a principal (stand alone) use of property and private stables that are an accessory use, or customarily incidental, to a single-family residential use on a property.

Public stables are permitted in the Rural Agriculture (RA) and Highway Business (HB) zoning districts. Private stables as a principal use are permitted in the RA zoning district. Private stables are permitted as an accessory use to a single-family residence in any zoning district if certain requirements are met (see **Zoning Permit Required**).



Zoning Permit Required

In order to establish a horse stable on a residential lot, a property owner must obtain a zoning permit from the Onslow County Planning & Development Department.

The following three requirements must be met in order to obtain this permit:

1-The lot shall have an area of at least one (1) acre.

2-Structures must be setback from property lines based on the size of structure:

Up to 180 square feet—5 feet from rear and side property lines.

180 up to 400 square feet—8 feet from rear and side property lines.

400 square feet and larger—10 feet from rear and 8 feet from side property lines.

3 - Electrical Fences must be within a privacy fence or protected if within 3 feet of a property line.

There are no setback requirements for non-electrical fences. However, we recommend that property owners contact their neighbors regarding the proposed placement of a fence in an effort to avoid potential property line disputes.

Practical Considerations

Property owners should verify that their property is not subject to any Restrictive Covenants for their neighborhood and/or any other deed restrictions that would prohibit horses.

If there is a septic system on the property, property owners should locate horses and structures away from the septic tank, drainfield and repair area.

Proper maintenance of the area where horses are kept is required under the Onslow County Animal Control Ordinance and the Onslow County Solid Waste Management Ordinance. Those ordinances state that it is unlawful to maintain animals in an unsanitary environment which results in offensive odors or is dangerous to the animal or the public health, safety or welfare of the community. Property owners must provide food in a clean receptacle, dish or container that is adequate, suitable for the species and age of the animal, and sufficient to maintain a reasonable level of nutrients. Likewise, constant access to a supply of clean, fresh water must be provided in a sanitary manner. Property owners must also provide adequate shelter for their animals from both direct sunlight during hot weather and from harsh winter conditions.