



Onslow County Planning & Development Residential Structure Site Plan & Setback Information

A site plan meeting these requirements must accompany all permit applications for all new residential structures and any additions/changes that involve a change in a structure footprint. In all residential zoning districts, accessory structures must be incidental to the principal structure and will not be permitted unless a principal structure exists. In many instances we can accept a site plan that has been prepared by hand; however, a surveyed site plan is required if the property is in a regulated flood zone or within a CAMA jurisdiction.

The site plan must clearly illustrate the distance from the proposed structure or structure change from all property lines and septic system components. The following applicable items are required to be illustrated and be legibly labeled on the site plan:

- Property Lines
- Driveway and other accessways
- Lot Dimensions
- Easement Lines
- Flood lines and CAMA jurisdiction, when applicable
- Septic System components to include tank, septic drain field and septic repair area
- Existing structures
- Proposed structures
- HVAC units and
- Note regarding overhangs when within 2 feet of a required setback line

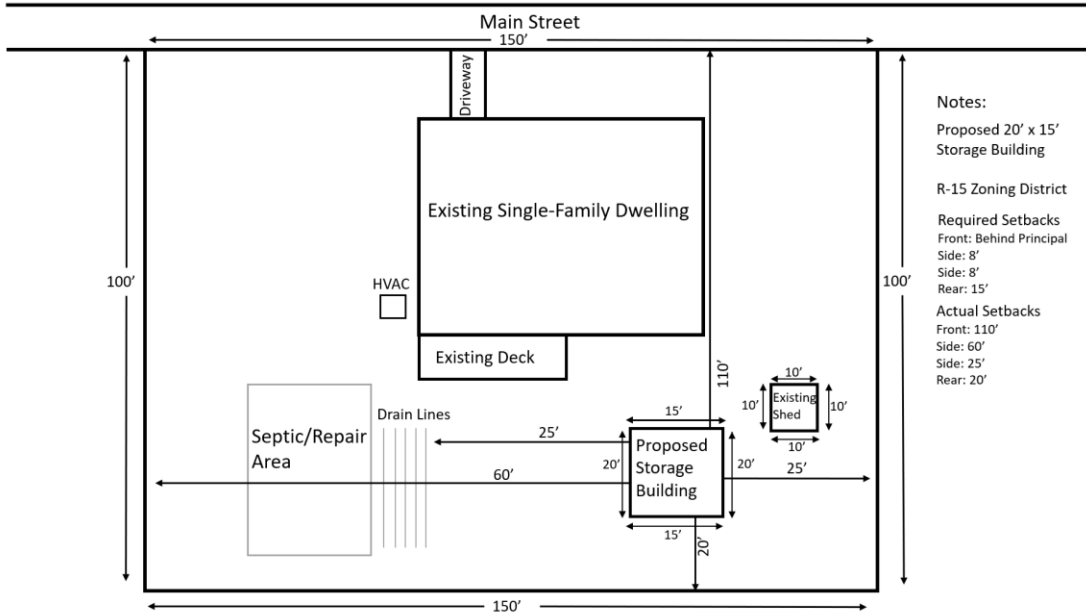
Be advised Environmental Health requirements prohibit development in the apron of the septic system. Pools are required to be separated by 15-feet.

In addition to the setback standards for each zoning district, other factors may impact your setback such as CAMA buffers or the size of the proposed accessory structure. All site plans must include the zoning setbacks and the actual distance from the proposed structure and all property lines. These distances need to be labeled on the map portion of the site plan and on a table on the plan.

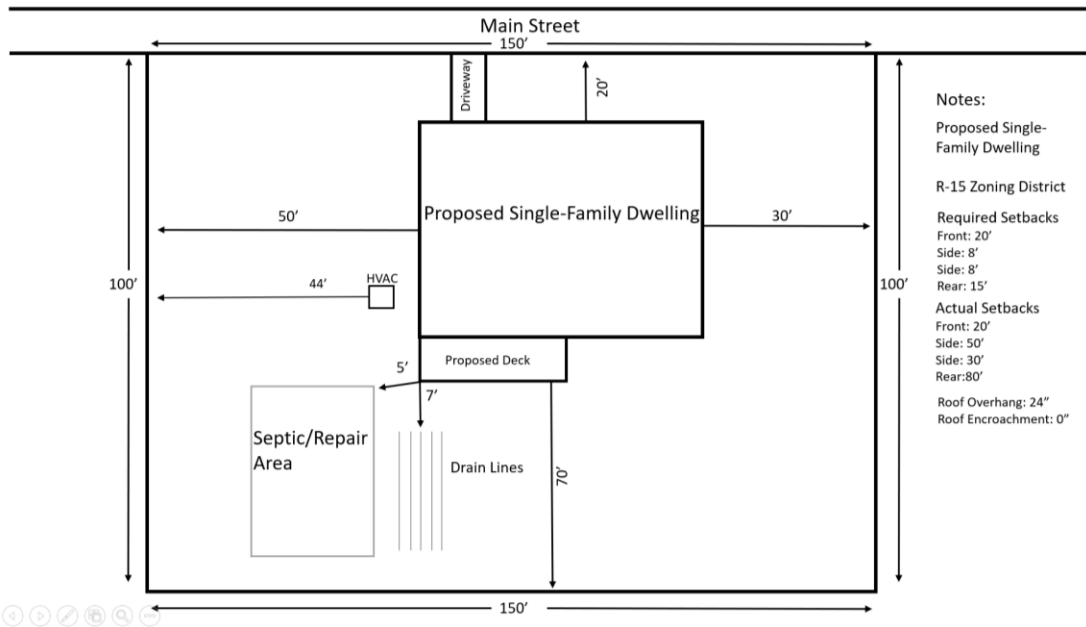
For example, if the property is within the R-8M Zoning District and the home is proposed to be located 40 feet off the front property line, 10 feet off the side property lines and 30 feet off of the rear property line, the site plan would include the following table:

Proposed new single-family home location: R-8M Zoning	
<u>Required Setbacks</u>	<u>Actual Setbacks</u>
Front 20'	40'
Side 5'	10'
Rear 15'	30'

Example of complete site plan for new residential accessory:



Example of a complete site plan for new residential principal:



ZONING INSPECTION INFORMATION

In order for a zoning setback inspection to be completed, the applicant must have marked property lines and the exact location of the proposed structure. Foundation surveys are required for any structure requiring a building permit that is within one foot of the required setback line.

When a zoning officer comes to inspect the setbacks, they will look to see that the flagged location matches what is on the site plan you submitted. If it does not match, you'll be asked to provide an updated site plan. If it does not meet setbacks, the inspection will be resulted as a fail. When it is too close for the Zoning Officer to determine, you may be asked to provide a foundation survey.

Principal Structure Setbacks

Zoning District	Front	Side interior	Side Corner Lot	Rear Primary
RA	30'	8'	20'	15'
R-20	25'	8'	20'	15'
R-15	20'	8'	20'	15'
R-10	20'	8'	20'	15'
R-8M	20'	5'	20'	15'
R-5	20'	5'	20'	15'

Roof overhangs, exterior HVAC units, uncovered porches and stoops may encroach 18 inches into a required setback area. See Section 8.6.C. of the Zoning Ordinance.

Accessory Structure Setbacks

Lot Type	Structure Size (area by sf)	Side Setback	Rear Setback
Interior Lot	Less than 400 sf	5 feet	5 feet
	400 sf or more	8 feet	8 feet
		Interior Setback	Property Line Setback
Corner Lot	Less than 400 sf	5 feet	10 feet
	400 sf or more	8 feet	15 feet
Double Frontage Lot	Less than 400 sf	5 feet	10 feet
	400sf or more	8 feet	15 feet

OTHER ACCESSORY STRUCTURE INFORMATION

- The total square footage of enclosed accessory structures shall not exceed 50% of the total square footage of the principal structure and will not apply to pools and decks. This limitation does not apply in the RA (Rural Agriculture) Zoning District. If the accessory structure is to be over 50%, then it shall require a Special Use Permit.
- All pools must meet all required setbacks and cannot be located in the front yard.
- Accessory structures shall not be located within any recorded easements or rights-of-way.

Front Yard Limitations/Allowances for accessory structures

- Most accessory structures in the residential zoning district must be located in the side or rear yards.
- Open carports may be located in the front yard.
- Enclosed accessory structures may be located in the front yard for lots 2 acres or greater size and on flag lots
- On waterfront lots of less than two acres, an accessory structure may be permitted by Special Use.
- Any accessory structure may be placed forward of the home in the RA Zoning District.